

SUTTON OUTLOOK VENTURES

SITE REDEVELOPMENT PLAN

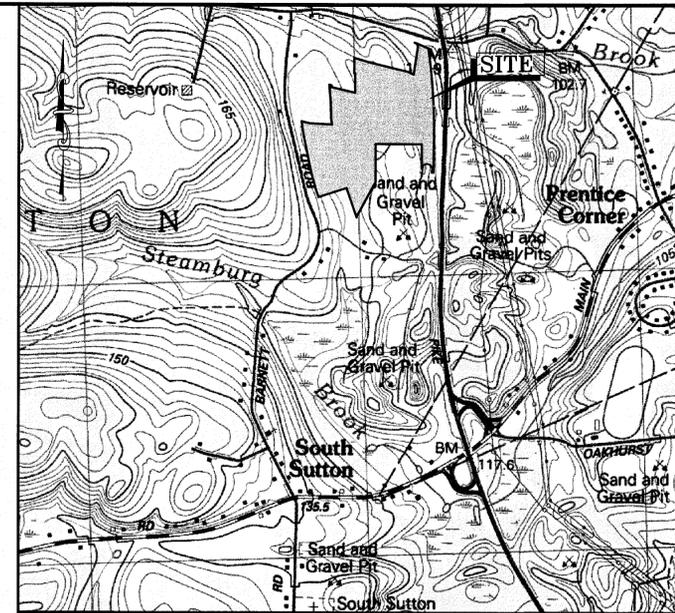
85 GILMORE DRIVE
SUTTON, MASSACHUSETTS
AUGUST 11, 2015

PREPARED FOR:

SUTTON OUTLOOK VENTURES, LLC.
4 RIVERHURST ROAD,
BILLERICA, MA 01821

PREPARED BY:

ANDREWS SURVEY & ENGINEERING, INC.
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OWNER OF RECORD:
SUTTON OUTLOOK VENTURES, LLC
4 RIVERHURST ROAD, BILLERICA MA 01821

SUTTON ASSESSORS INFORMATION:
MAP 45, LOT 68
AREA: 38.0 ACRES±

SUTTON ZONING INFORMATION:
ZONE: OFFICE-LIGHT INDUSTRIAL (OLI)
MINIMUM FRONTAGE: 200'
MINIMUM LOT AREA: 80,000 S.F.
BUILDING SETBACKS: FRONT 50', SIDE 20', REAR 50'



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APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD

BEING A MAJORITY _____ DATE: _____

PROJECT:
SUTTON OUTLOOK VENTURES
SITE REDEVELOPMENT PLAN

PROPOSER:
SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE: ... \dwg\2015-214-SITE PLAN.dwg
DRAWN BY: WCN, JPC
CHECKED BY: PBH
DATE: AUGUST 11, 2015
PROJECT NO.: 2015-214 (REF: 2004-438)

DRAWING DATE	LATEST REVISION	SHEET NO.	SHEET TITLE
8/11/2015		C-0.0	COVER SHEET
8/11/2015		C-1.0	LEGEND, ABBREVIATIONS, & GENERAL NOTES
8/11/2015		C-2.0	EXISTING CONDITIONS PLAN
8/11/2015		C-3.0	DEMOLITION & EROSION CONTROL PLAN
8/11/2015		C-4.0	LAYOUT & MATERIALS PLAN
8/11/2015		C-5.0	GRADING, DRAINAGE & UTILITIES PLAN
8/11/2015		C-6.0	LANDSCAPING & LIGHTING PLAN
8/11/2015		C-7.1 - C-7.3	CONSTRUCTION DETAILS

GOVERNMENT & UTILITY CONTACTS		
SUTTON PLANNING DEPARTMENT 4 UXBRIDGE ROAD P: 508.865.8729 F: 508.865.8721 ATTN: JENNIFER HAGER, PLANNING DIRECTOR	SUTTON FIRE DEPARTMENT 4 UXBRIDGE ROAD P: 508.865.8737 F: 508.865.8738 ATTN: PAUL MAYNARD, CHIEF	SUTTON BOARD OF HEALTH 4 UXBRIDGE ROAD P: 508.865.8724 F: 508.865.8721
SUTTON CONSERVATION COMM. 4 UXBRIDGE ROAD P: 508.865.8728 F: 508.865.8721 ATTN: WANDA BIEN, SECRETARY	SUTTON POLICE DEPARTMENT 4 UXBRIDGE ROAD P: 508.865.4449 F: 508.865.8757 ATTN: DENNIS TOWLE, CHIEF	MASSACHUSETTS ELECTRIC CO. 1.800.322.3223 VERIZON COMMUNICATIONS 1.800.870.9999
SUTTON BUILDING DEPARTMENT 4 UXBRIDGE ROAD P: 508.865.8723 F: 508.865.8721 ATTN: JOHN COUTURE, BUILDING COMM.	SUTTON HIGHWAY DEPARTMENT 25 PLEASANT VALLEY ROAD P: 508.865.8743 F: 508.865.9533 ATTN: MATT STENCEL, SUPT.	

GRAPHIC SCALE

SHEET TITLE

COVER SHEET

DRAWING NO.

C-00

PLAN NO. L-4614

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STORMWATER MANAGEMENT SYSTEM (SMS) OPERATION AND MAINTENANCE INSTRUCTIONS

PART 1 – STORMWATER MANAGEMENT SYSTEM DESCRIPTION

1A. OWNER:
SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

1B. OPERATION:

STORMWATER CARRIES POLLUTANTS AND WILL BE TREATED BEFORE DISCHARGE TO OFF-SITE. THE SITE PLANS WHICH ACCOMPANY THESE INSTRUCTIONS SHOW THE COMPONENTS OF THE TREATMENT SYSTEM, DIRECTION OF FLOW AND NEARBY DISCHARGES.
STORMWATER ON PAVED AREAS IS COLLECTED IN CATCH BASINS (CB) WHICH HAVE A DEEP SUMP AND AN ELBOW PIPE OUTLET. THE SUMP COLLECTS SETTLEABLE COARSE SAND AND OTHER SOLIDS TO WHICH POLLUTANTS ADHERE. THESE SUMPS MUST BE CLEANED REGULARLY OR THE ACCUMULATED SEDIMENT WILL CLOG THE OUTLET PIPE. THE PIPE HAS AN INVERTED ELBOW WHICH DOES NOT ALLOW FLOATING OIL/GAS FROM LEAVING THE CB. THE ELBOW IS SUSCEPTIBLE TO CLOGGING AND MUST BE CHECKED IF A CLOGGING PROBLEM ARISES.

PART 2 – RESPONSIBILITY FOR OPERATION AND MAINTENANCE

2A. PARTY RESPONSIBLE DURING CONSTRUCTION:

CONTRACTOR TO BE DETERMINED.

2B. PARTY RESPONSIBLE FOR POST-CONSTRUCTION:

SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

PART 3 – INSPECTION AND MAINTENANCE SCHEDULE

3A. CONSTRUCTION SCHEDULE

SEE GENERAL NOTES (EROSION CONTROL)

3B. POST-CONSTRUCTION SCHEDULE

PARKING LOT AND DRIVEWAYS

INSPECT ALL CATCH BASINS (CB) AT LOCATIONS SHOWN ON SITE PLANS. LOOK FOR SETTLING OF PAVEMENT. REPAIR AS REQUIRED. LOOK AT LEVEL OF SAND, SILT IN BOTTOM. HAVE BOTTOM CLEANED IF OUTLET PIPE BLOCKED. VERIFY THAT ELBOW (OIL TRAP) ON PIPE OUTLET IS SECURELY IN PLACE. CLEAN ALL LEAVES, TRASH, AND PINE NEEDLES OUT OF CB GRATE.

LOOK FOR SIGNS OF CRACKING, POTHOLE. REPAIR AS REQUIRED.

LOOK FOR SIGNS OF EROSION AT EDGES OF PARKING LOT. INSPECT FOR BROWN CURB. SEVERE EROSION MAY BE CAUSED BY PIPE BLOCKAGE AND RESULTING OVERFLOWS OUT OF CATCH BASINS. REMOVE DRAIN MANHOLE COVERS AND CB GRATES IN AREA AND LOOK FOR BLOCKAGES WHERE SURFACE EROSION IS EVIDENT.

WALLS

LOOK FOR EROSION AT TOP AND BOTTOM OF ALL RETAINING WALLS. LOOK AT WALL ENDS AND FACE FOR DISLODGED WALL SEGMENTS. REPAIR AS REQUIRED.

LANDSCAPING

INSPECT FOR DISEASED/DYING TREES, SHRUBS, GROUND COVER, GRASS. REPLACE AS REQUIRED.

INSPECT MULCH BEDS. SUPPLEMENT AS REQUIRED TO PROVIDE THE SPECIFIED MINIMUM DEPTH (LOOSE MEASURE).

3B.2. NON-ROUTINE SCHEDULE

DEEP SUMP CATCH BASINS

HAVE ALL CATCH BASINS CLEANED OUT COMPLETELY ANNUALLY.

HYDROGRAD (OIL/WATER SEPARATOR)

USE A SUMP-VAC TRUCK TO CLEAN OUT THE SEDIMENTATION IN THE UNIT. THE FREQUENCY OF THE SUMP VAC PROCEDURE IS DETERMINED IN THE FIELD AFTER INSTALLATION. DURING THE FIRST YEAR OF OPERATION, THE UNIT SHOULD BE INSPECTED EVERY SIX MONTHS TO DETERMINE THE RATE OF FLOATABLE AND SEDIMENT ACCUMULATION. THIS INFORMATION SHALL BE RECORDED IN MAINTENANCE LOGS TO ESTABLISH A ROUTINE MAINTENANCE SCHEDULE THEREAFTER.

DO NOT ENTER THE UNIT UNLESS YOU HAVE THE PROPER EQUIPMENT, YOU HAVE BEEN TRAINED AND ARE QUALIFIED TO ENTER A CONFINED SPACE, AS IDENTIFIED BY OSHA REGULATIONS.

SEE OWNERS MANUAL FOR ADDITIONAL INFORMATION.

FACILITY OWNER IS REQUIRED TO SUBMIT TO THE TOWN OF SUTTON CONSERVATION COMMISSION A QUARTERLY REPORT DETAILING INSPECTION RESULTS AND MAINTENANCE PERFORMED.

INFILTRATION BASIN

INSPECT AFTER EACH SIGNIFICANT RAINFALL (1/4" OR MORE) FOR FIRST 6 MONTHS AFTER CONSTRUCTION TO ENSURE SURFACE VEGETATION IS STABLE, DISCHARGE DEVICES ARE NOT BLOCKED AND BANKS ARE NOT ERODING. INSPECT STONE SLOPE PROTECTION & REPAIR AS REQUIRED.

LAWNS

INSPECT AFTER EACH SIGNIFICANT RAINFALL (1/4" OR MORE) FOR FIRST 6 MONTHS AFTER CONSTRUCTION TO ENSURE SURFACE VEGETATION IS HEALTHY, DISCHARGE DEVICES ARE NOT BLOCKED AND BANKS ARE NOT ERODING.

CHECK ALL COMPONENTS AFTER EACH MAJOR STORM (MORE THAN 2" RAINFALL IN 24 HOURS). CLEAN/REPAIR AS REQUIRED.

SNOW REMOVAL

ANY STOCKPILING OF SNOW SHALL BE CONDUCTED OUTSIDE THE BUFFER ZONE.

THE USE OF SALT AND/OR DE-ICING AGENTS ARE PROHIBITED DURING AND AFTER COMPLETION OF THIS PROJECT.

1.0. TOPOGRAPHIC AND PROPERTY LINE INFORMATION

1.1. NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISCOVER" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

1.2. PROPERTY LINE AND TOPOGRAPHY: EXISTING PROPERTY LINE, UTILITY INFORMATION AND TOPOGRAPHY PROVIDED BY ANDREWS SURVEY & ENGINEERING, INC. SEE PLAN HEREIN.

1.3. DATUM: NAVD 1929 (SEE EXISTING CONDITIONS PLAN.)

1.4. BENCH MARKS: NAVD 1929 (SEE EXISTING CONDITIONS PLAN.)

1.5. COORDINATE SYSTEM: ASSUMED

1.6. CONSTRUCTION STAKING CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY TO PERFORM THE WORK.

1.7. PORTIONS OF THE PROPERTY LIE IN A BUFFER ZONE TO A WETLAND AREA.

1.8. FLOODPLAIN: THE PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA OR 100-YEAR FLOODPLAIN ACCORDING TO THE MOST RECENT FLOOD INSURANCE RATE MAPS FOR SUTTON.

1.9. A COPY OF THESE APPROVED PLANS AND APPLICABLE SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.

1.10. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS OUTSIDE THESE PLANS.

1.11. ANY STRUCTURE AND/OR OBSTRUCTION WHICH REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT, SHALL BE DONE AT THE DEVELOPER'S EXPENSE.

1.12. WETLANDS DELINEATION PERFORMED BY ECOTEC, INC. ON SEPTEMBER 9, 2000.

2.0. DEMOLITION, SEDIMENTATION, AND EROSION CONTROL (STORMWATER POLLUTION PREVENTION PLAN)

2.1. GENERAL

2.1.1. THE FIRST STAGE INVOLVES ACTIVITIES NEEDED TO ADDRESS STORMWATER MANAGEMENT, EXCAVATING MATERIAL, DESIGNATED FOR OFF-SITE REMOVAL OR ON-SITE RELOCATION AND FENCING SELECTED AREAS. STAGE ONE WILL PREPARE SITE FOR CONVENTIONAL CONSTRUCTION.

2.1.2. THE SECOND STAGE WILL CONSIST OF ROUTINE CONSTRUCTION INVOLVING BUILDING, PAVING, LANDSCAPING AND UTILITIES.

2.1.3. THERE ARE GENERAL PHASES OF CONSTRUCTION, IN EACH PHASE OF CONSTRUCTION IMPLEMENT STANDARD EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO INITIATING EARTH DISTURBING ACTIVITIES, AND MAINTAIN THESE PRACTICES THROUGHOUT THE COURSE OF CONSTRUCTION.

2.1.4. VEGETATION CLEARING, STUMP REMOVAL AND EARTH EXCAVATION/FILLING HAS BEEN COMPLETED UNDER PREVIOUS CONTRACT.

2.1.5. DURING DEMOLITION, EXCAVATIONS AS MUCH AS 10 FEET MAY BE REQUIRED FOR THE INSTALLATION OF FOUNDATIONS, RETAINING WALLS, UNDERPINNING METHODS, AND UTILITIES. EXCAVATIONS SHALL BE CUT TO A STABLE SOLE, OR BE TEMPORARILY BRACED, DEPENDING ON THE EXCAVATION DEPTHS AND THE ENCOUNTERED SUBSURFACE CONDITIONS. THE CONTRACTOR SHALL SUBMIT EXCAVATION AND SLOPE STABILIZATION METHODS PRIOR TO THE START OF CONSTRUCTION TO THE ENGINEER FOR REVIEW.

2.1.6. BASED ON THE COMPOSITION OF SOILS ENCOUNTERED DURING THE EXPLORATION, SITE SOILS ARE GENERALLY CLASSIFIED AS TYPE B SOILS AS DEFINED BY OSHA 29 CFR 1926.652 APPENDIX A. TEMPORARY CONSTRUCTION SLOPES SHOULD BE DESIGNED IN STRICT COMPLIANCE WITH THE MOST RECENT GOVERNING REGULATIONS. STOCKPILES SHOULD BE PLACED WELL AWAY FROM THE EDGE OF THE EXCAVATION AND THEIR HEIGHT SHOULD BE CONTROLLED TO PREVENT SURCHARGE TO THE SIDES OF THE EXCAVATION. SURFACE DRAINAGE SHOULD BE CONTROLLED TO AVOID FLOW OF SURFACE WATER INTO THE EXCAVATIONS.

2.1.7. CONSTRUCTION SLOPES SHOULD BE REVIEWED FOR MASS MOVEMENT. IF POTENTIAL STABILITY PROBLEMS ARE OBSERVED, WORK SHOULD CEASE AND A GEOTECHNICAL ENGINEER SHOULD BE CONTACTED IMMEDIATELY. THE RESPONSIBILITY FOR EXCAVATION SAFETY AND STABILITY OF TEMPORARY CONSTRUCTION SLOPES SHOULD LIE SOLELY WITH THE CONTRACTOR.

2.1.8. COORDINATES OF MANHOLES AND CATCH BASINS REFER TO CENTERS OF STRUCTURES.

2.1.9. ROOF DRAIN SYSTEM IS SHOWN FOR SCHEMATIC PURPOSES. ALL ROOF DRAIN PIPES SHALL BE SIX INCH DIAMETER WITH A MINIMUM SLOPE OF .30% UNLESS OTHERWISE INDICATED. SEE ARCHITECT PLANS FOR EXACT LOCATION AND NUMBER OF DOWNSPOUTS. NO OFFSETS ALLOWED.

2.1.10. PROVIDE SIX INCH VERTICAL AND THREE FOOT HORIZONTAL CLEARANCE (OUTSIDE SURFACES) BETWEEN STORM DRAIN LINES AND OTHER UTILITY PIPE AND CONDUITS PROVIDED.

2.1.11. PROVIDE BEDDING AND BACKFILL IN TRENCHES PER DETAIL.

2.1.12. ALL DRAINAGE PIPES WITHIN TEN FEET OF THE BUILDING FOUNDATION ARE TO BE DUCTILE IRON. INSTALLATION OF ALL PIPING SHALL BE THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR.

2.1.13. DURING CONSTRUCTION, ALL EXISTING AND NEWLY INSTALLED DRAINAGE STRUCTURES SHALL BE PROTECTED FROM SEDIMENTS.

2.1.14. ALL STORM MANHOLES SHALL CONFORM TO DETAIL PROVIDED HEREIN.

2.1.15. MANHOLE FRAME AND GRATE SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD 202.6.0 AND 202.8.0. THE COVER SHALL BE MARKED "DRAIN" IN RAISED LETTERS. MINIMUM WEIGHT OF THE FRAME SHALL BE 285 POUNDS. MINIMUM WEIGHT OF THE COVER SHALL BE 200 POUNDS.

2.1.16. ALL CATCH BASINS SHALL CONFORM TO DETAIL PROVIDED HEREIN.

2.1.17. ROOF DRAIN MANHOLE PIPES SHALL BE A MINIMUM OF ELEVEN FEET AWAY FROM BUILDING FOUNDATIONS AND/OR ROOF LINES.

4.0. WATER DISTRIBUTION AND FIRE PROTECTION

4.1. WATER MAINS 3" DIA. AND LARGER SHALL HAVE 5'-6" MINIMUM COVER AND SHALL BE CEMENT LINED DUCTILE IRON, CLASS 52 MINIMUM, CONFORMING TO ANSI (AMERICAN NATIONAL STANDARDS INSTITUTE) A21.50, A21.4, A21.10 AND A21.51. JOINTS AT FITTINGS, VALVES AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT PER ANSI A21.11. WITH ANSI A21.11. ALL FITTINGS, VALVES, HYDRANTS AND CAPS SHALL BE CLASS 350 PROVIDED WITH THRUST RESTRAINTS (THRUST BLOCKS AND RETAINING RODS) IN CONFORMANCE WITH THE DETAILS.

4.2. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR IS ADVISED THAT NOT ALL FITTINGS ARE NOTED, SHOWN, OR INDICATED.

4.3. ALL HYDRANTS SHALL BE INSTALLED WITH A 6" C.I.D.I. LATERAL AND SHALL BE INSTALLED WITH 6" GATE VALVE, BOX, AND TEE FITTING. ALL LATERALS SHALL MEET AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL MUNICIPAL REQUIREMENTS.

4.4. ALL WATER MAIN APPURTENANCES, MATERIALS AND METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.

4.5. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTIONS WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.

4.6. WATER MAIN PIPE AND SERVICE CONNECTIONS SHALL BE 10 FEET AWAY FROM BUILDING FOUNDATIONS AND/OR ROOF LINES.

5.0. SEWER AND UTILITY SEPARATION

5.1. A MINIMUM 10 FEET CLEAR HORIZONTAL DISTANCE SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

GENERAL NOTES

5.2. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER MAINS CROSS STORM DRAIN LINES.

5.3. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST TWO FEET BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE WAIRED TO MEET THIS REQUIREMENT, THE CONTRACTOR SHALL DO THE FOLLOWING:
THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.

5.4. MINIMUM GRADE ON ALL SEWERS SHALL BE 2 PERCENT, MAXIMUM SHALL BE 8 PERCENT.

5.5. ALL SEWER PIPE SHALL BE PVC SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 FOR PIPE SIZES 18 INCH AND SMALLER AND ASTM 1079 FOR PIPE SIZES 18 TO 27 INCH, UNLESS OTHERWISE NOTED. TRENCHING, BEDDING, AND BACKFILL SHALL BE IN ACCORDANCE WITH THE DETAILS HEREIN. MINIMUM PIPE COVER SHALL BE 3 FEET.

5.6. SANITARY SEWER MANHOLE COVERS SHALL BE MARKED "SEWER" IN RAISED LETTERS. MINIMUM WEIGHT OF THE FRAME SHALL BE 285 POUNDS. MINIMUM WEIGHT OF THE COVER SHALL BE 200 POUNDS.

5.7. SANITARY SEWER MANHOLES SHALL CONFORM TO THE DETAILS HEREIN. ALL MANHOLES SHALL BE CHANNELLED FOR FUTURE LINES AS SPECIFIED ON THESE PLANS.

5.8. AFTER ALL OTHER UTILITIES ARE INSTALLED AND PRIOR TO ASPHALT WORK, ALL SANITARY PIPES SHALL PASS A LOW PRESSURE AIR TEST. PRODUCTS USED TO SEAL THE INSIDE OF THE PIPE ARE NOT TO BE USED TO OBTAIN THE AIR TEST.

5.9. PRIMARY ELECTRICAL ENCASED CONDUIT MUST BE SEPARATED FROM GAS BY 3" MIN. AND FROM OTHER UTILITIES BY 2" MINIMUM.

5.10. TELEPHONE AND FIRE ALARM WHICH SHARE THE SAME TRENCH MUST HAVE A 1' VERTICAL SEPARATION.

5.11. GAS MAINS MUST BE SEPARATED FROM OTHER UTILITIES BY 2" MINIMUM.

6.0. ELECTRIC AND COMMUNICATIONS

6.1. INSTALLATION OF COMMUNICATIONS (TELEPHONE, CABLE AND FIRE ALARM) SYSTEMS SHALL BE COORDINATED AND SCHEDULED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.

6.2. COORDINATES REFER TO THE CENTER OF STRUCTURES UNLESS OTHERWISE NOTED OR DETAILED. CONTRACTOR SHALL COORDINATE LIGHT BASE LOCATIONS WITH PROPOSED CURBING AND PARKING LOT STRIPING.

6.3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ELECTRICAL SERVICE PRIOR TO ORDERING ANY EQUIPMENT.

6.4. ANY CONSTRUCTION ACTIVITY ASSOCIATED WITH WITH ELECTRIC AND COMMUNICATION UTILITY RELOCATION THAT IMPACT GILMORE DRIVE AMENITIES SUCH AS SIDEWALKS AND GRASS STRIPS SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITIONS.

7.0. PAVEMENT AND SIDE WALKS

7.1. SAWCUT EXISTING ASPHALT AT LEAST 1' FROM EXISTING EDGE TO MATCH PAVEMENT.

7.2. JOINTS BETWEEN NEW BITUMINOUS CONCRETE PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSAND.

7.3. SIDEWALKS SHALL BE CONSTRUCTED WITH BRICK, DECORATIVE PAVERS, OR OTHER APPROVED MATERIALS.

7.4. SIDEWALK MATERIALS SHALL BE APPROVED BY THE PLANNING BOARD PRIOR TO INSTALLATION.

7.5. ALL PAVING SHALL BE HEAVY DUTY EXCEPT FOR THE AREA IN FRONT OF THE OFFICE PORTION OF THE BUILDING. THE AREA IN FRONT OF THE OFFICE WILL BE LIGHT DUTY. THE TRUCK LOADING AREA WILL BE CEMENT CONCRETE PAVEMENT. SEE DETAILS.

8.0. CURBING

8.1.1. VERTICAL GRANITE CURB (V.G.C.) CURB AT ALL ENTRANCE RADI AND ELSEWHERE AS NOTED ON THE DRAWINGS.

8.1.2. MODIFIED CAPE COD BERM (CCB) AS NOTED ON THE DRAWINGS.

8.2. DIMENSIONS REFER TO FACE OF CURB UNLESS NOTED OTHERWISE.

9.0. PARKING TRAFFIC CONTROL MARKINGS AND SIGNAGE

9.1. INCLUDING, BUT NOT LIMITED TO, ALL CROSSWALKS, STOP LINES AND LEGENDS.

9.1.1. LEGENDS SHALL BE PERFORMED PERMANENT PLASTIC. PAVEMENT MARKINGS SHALL BE THERMO PLASTIC (ALUMI). THE MARKINGS, LEGENDS SHALL BE INSTALLED IN ACCORDANCE WITH THE RELEVANT PORTIONS OF MHD STANDARD SPECIFICATIONS. THE CONTRACTOR'S ATTENTION ALSO IS DIRECTED TO THE STANDARD SPECIFICATIONS, FOR REQUIREMENTS REGARDING THE AMBIENT AIR TEMPERATURE AT THE TIME OF APPLICATION.

9.2. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE ZONING BYLAWS AND THE AMERICANS WITH DISABILITIES ACT (A.D.A.) OF JANUARY, 1992 UNLESS OTHERWISE NOTED.

9.2.1. ACCESSIBLE PARKING SPACES DESIGNATED WITH A "HCV" SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. 4.1.2.56.

9.2.2. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR DETAILED OTHERWISE.

9.2.3. ALL STANDARD PARKING SPACES SHALL BE 9 FT WIDTH BY 18 FT LENGTH, WITH 24 FEET AISLES, UNLESS NOTED OR DETAILED OTHERWISE.

9.2.4. PARKING AND TRAFFIC CONTROL PLANS ARE SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS FOR INSTALLATION OF PAVEMENT MARKING ARE PROVIDED AS PART OF THIS PLAN SET.

10.0. PLANTING AND LANDSCAPING

10.1. ALL PLANT MATERIAL MUST BE TAGGED IN THE GROUND, AT THE NURSERY BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE COMMERCIALLY OBTAINED AND SHALL MEET THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASON NORMAL TO THE PARTICULAR VARIETY. ALL PLANT INSPECTIONS WILL BE AT THE EXPENSE OF THE CONTRACTOR. PERMANENT SEALS WILL BE REQUIRED.

10.2. COVER ALL PLANTING BEDS WITH 3" SHREDDED HARDWOOD BARK MULCH WITHIN A SEVENTY-TWO HOUR PERIOD AFTER PLANTING. SEE PLAN FOR BED LAYOUT.

10.3. ALL EXISTING AND PROPOSED TREES SHOWN IN LAWN AREAS SHALL RECEIVE A 6" DIAMETER MULCH BED. MULCH SHALL BE PLACED TO A DEPTH OF 3". REMOVE ALL SOD, ROOTS, STICKS AND STONES PRIOR TO PLACEMENT OF MULCH.

10.4. ALL PLANT MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE OF LANDSCAPE WORK.

10.5. STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.

10.6. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF TO AN OFF-SITE LOCATION.

10.7. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.

10.8. LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR OF CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.

10.9. LOAM: LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIALS. ALL EXCESS LOAM SHALL REMAIN ON THE PROPERTY OF THE OWNER. NEW LOAM IS REQUIRED TO PROVIDE THE SPECIFIED DEPTH. SHALL BE A FERTILE, FRAGILE MEDIUM TEXTURED SANDY LOAM FREE OF MATERIAL TOXIC TO HEALTHY PLANT GROWTH. LOAM SHALL ALSO BE FREE OF ALL STUMPS, ROOTS, STONES AND OTHER EXTRANEOUS MATTER AN INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 5.5 AND 7.5 WHEN TESTED.

10.10. LAWN PREPARATION: REMOVE ALL DEBRIS AND OTHER INORGANIC MATERIALS ON THE PREPARED SUBGRADE. RESHAPE AND DRESS ANY DAMAGED OR BROOD AREA PRIOR TO SPREADING THE LOAM. SCARP AND DRESS UNDER SUBGRADE IN ANY AREAS WHERE COMPACTION MAY HAVE OCCURRED. SPREAD STOCKPILED AND OFF-SITE LOAM ON ALL DISTURBED AREAS TO PRODUCE A DEPTH OF 6". FINE GRADE LOAMED AREAS TO PRODUCE A SMOOTH AND UNBROKEN FINISH GRADE TO THE REQUIRED DEPTH. APPLY A STARTER FERTILIZER (10-20-10) AT A RATE OF 20 LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 40 LBS. PER 1000 SQUARE FEET. ONCE SPREAD, THE FERTILIZER AND LIME SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM. THE LOAM SHALL BE APPLIED, AND DEPRESSION SHALL BE TOP DRESSED AND RAKED TO CREATE A SMOOTH SURFACE.

10.11. SEEDING: SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15 ONLY. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES MEETING AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL RULES AND REGULATIONS. THE SEED MIXTURE SHALL BE:

PROPORTION BY TYPE	WEIGHT	PUR.	GERM.
PALMER PERENNIAL BLUEGRASS	20.0%	99%	90%
RANGER PERENNIAL BLUEGRASS	20.0%	99%	90%
BARON KENTUCKY BLUEGRASS	30.0%	95%	85%
MERION KENTUCKY BLUEGRASS	30.0%	95%	85%
INERT MATERIALS 2.5% (MAXIMUM)			

SEEDED AREAS SHALL, AT A MINIMUM, INCLUDE ALL AREAS OF THE SITE THAT HAVE BEEN DISTURBED OR ARE BARREN UNLESS OTHERWISE NOTED ON THE PLANS. SEED SHALL BE APPLIED AT A RATE OF 7 LBS. PER 1000 SQUARE FEET.

10.12. PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OR OTHER PLANT SPECIMENS WHICH ARE LARGE, FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE CRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.

10.13. PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.

10.14. DISTURBED AREAS: FOR AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE YORK RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.

10.15. DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.

ABBREVIATIONS	
ITEM	DESCRIPTION
S.F.	SQUARE FEET
N/F	NOW OR FORMERLY
F.F.E.	FINISH FLOOR ELEVATION
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
CB	CATCH BASIN
DCB	DOUBLE CATCH BASIN
BCC	BITUMINOUS CONCRETE CURB
VGC	VERTICAL GRANITE CURB
PCC	PRECAST CONCRETE CURB
FES	FLARED END SECTION
RCP	REINFORCED CONCRETE PIPE
CLDI	CEMENT LINED DUCTILE IRON
SSC	SIAMSESE STANDPIPE CONNECTION
INV.	INVERT
ELEC.	ELECTRIC
TELE.	TELEPHONE
OWS	OIL WATER SEPARATOR
TYP.	TYPICAL
RET.	RETAINING
TBM	TEMPORARY BENCH MARK
BIT.	BITUMINOUS
CONC.	CONCRETE

ASE

NOTES:

- 1. CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY EXCAVATION.
1-888-DIG-SAFE (344-7233)



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APPROVAL UNDER SITE PLAN REVIEW.
SUTTON PLANNING BOARD

BEING A MAJORITY _____ DATE: _____

SUTTON OUTLOOK VENTURES
SITE REDEVELOPMENT PLAN

85 GILMORE DRIVE
SUTTON, MA 01590

SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

PROJECT:

PROPOSITOR:

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: ...\\dwg\2015-214 PLAN.dwg

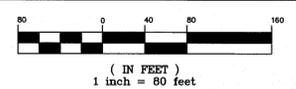
DRAWN BY: WCN, JPC

CHECKED BY: PBH

DATE: AUGUST 11, 2015

PROJECT NO.: 2015-214 (REF: 2004-438)

GRAPHIC SCALE



SHEET TITLE

EXISTING
CONDITIONS PLAN

DRAWING NO.

C-2.0

PLAN NO. L-4614

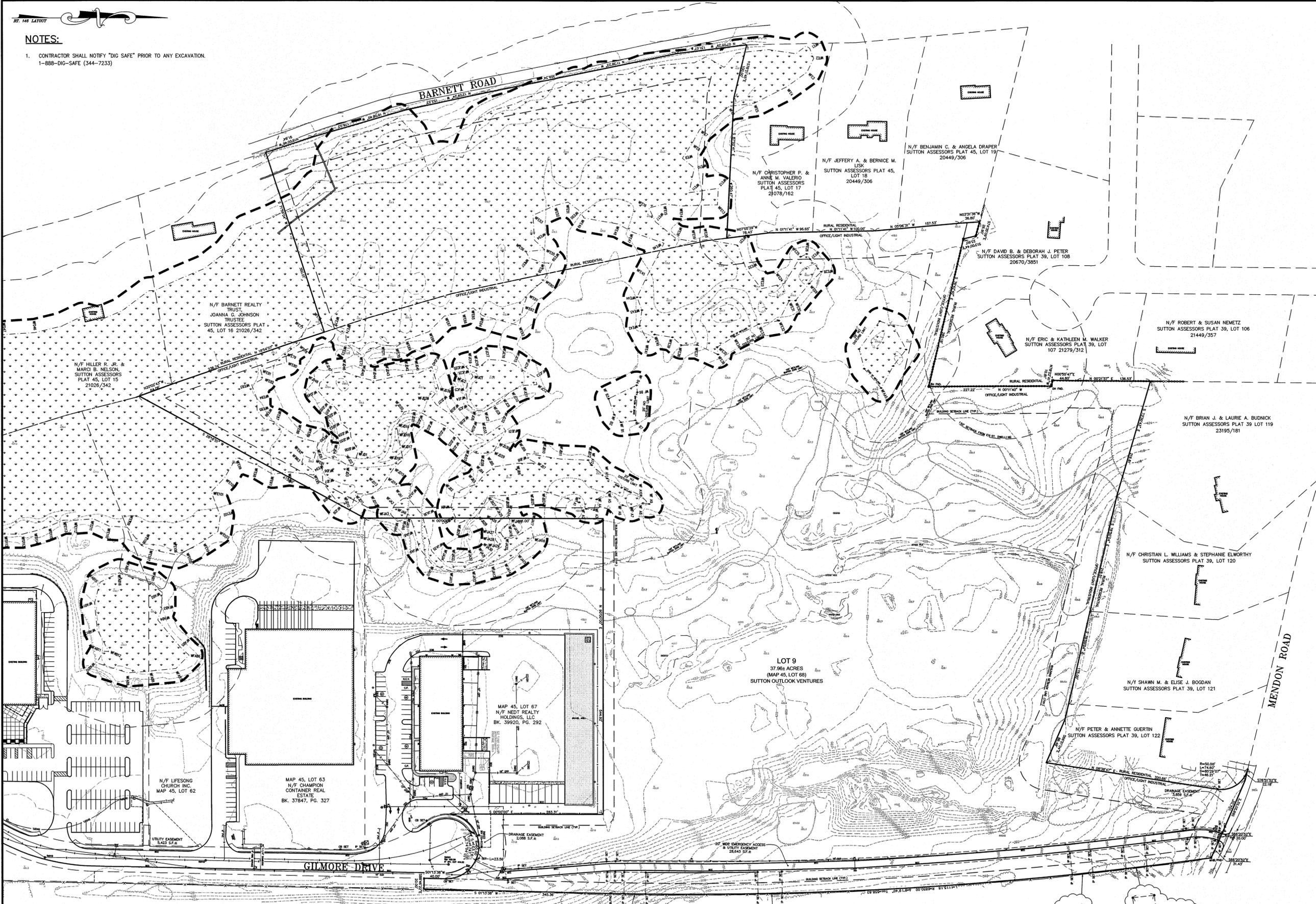
WORCESTER - PROVIDENCE TURNPIKE
(ROUTE 146 1981 LAYOUT - LAYOUT NO. 6496)

DETAIL
N.T.S.

DETAIL
N.T.S.

DETAIL
N.T.S.

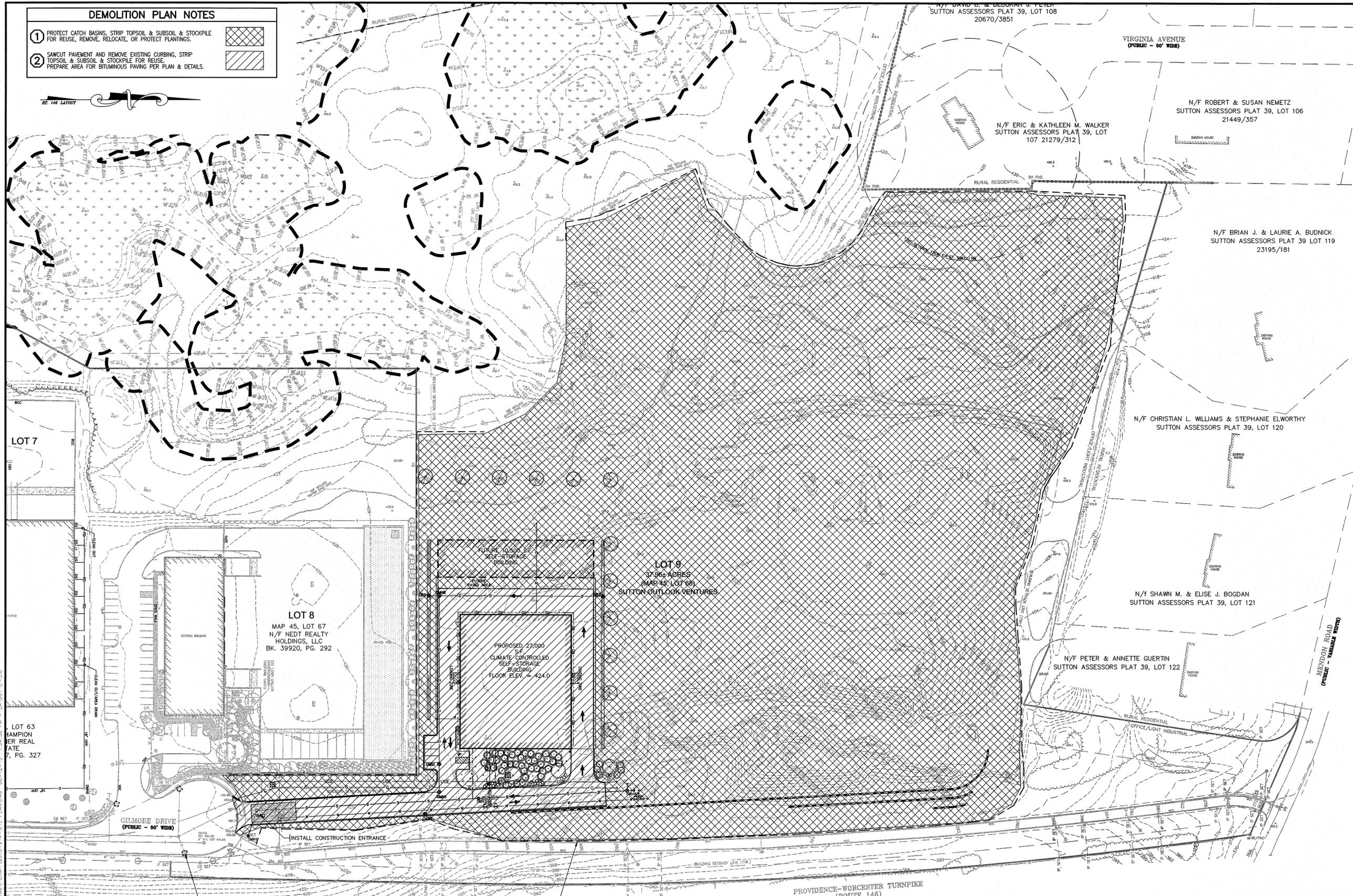
DETAIL
N.T.S.



DEMOLITION PLAN NOTES

1 PROTECT CATCH BASINS, STRIP TOPSOIL & SUBSOIL & STOCKPILE FOR REUSE, REMOVE, RELOCATE, OR PROTECT PLANTINGS.

2 SAWCUT PAVEMENT AND REMOVE EXISTING CURBING, STRIP TOPSOIL & SUBSOIL & STOCKPILE FOR REUSE. PREPARE AREA FOR BITUMINOUS PAVING PER PLAN & DETAILS.



INSTALL INLET PROTECTION IN CATCH BASIN & MAINTAIN THROUGHOUT CONSTRUCTION ACTIVITIES (TYP. OF 3)

INSTALL EROSION CONTROL BARRIER PRIOR TO SITE CONSTRUCTION & MAINTAIN THROUGHOUT CONSTRUCTION ACTIVITIES (TYP.)

- NOTES:**
- CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY EXCAVATION. 1-888-DIG-SAFE (344-7233)
 - CONTRACTOR TO STOCKPILE TOPSOIL AND SUBSOIL, AND TREES AND OTHER VEGETATION THAT APPEAR SUITABLE FOR RELOCATION.
 - CONTRACTOR TO STOCKPILE GRANITE AND PRE-CAST CURBING SUITABLE FOR RE-USE ON-SITE
 - ON PROPOSED SLOPES GREATER THAN 3:1 (HORIZ.: VERT.) PLACEMENT OF EROSION CONTROL BLANKET OR APPROVED ALTERNATE METHOD TO ENSURE SLOPE STABILITY REQUIRED.



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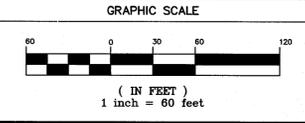
BEING A MAJORITY _____ DATE: _____

PROJECT:
 SUTTON OUTLOOK VENTURES
 SITE REDEVELOPMENT PLAN
 85 GILMORE DRIVE
 SUTTON, MA 01590

PROPOSER:
 SUTTON OUTLOOK VENTURES
 4 RIVERHURST ROAD
 BILLERICA, MA 01821

REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE: ...\\dwg\2004-438-SITE PLAN.dwg
 DRAWN BY: WCN, JPC
 CHECKED BY: PBH
 DATE: AUGUST 11, 2015
 PROJECT NO.: 2015-214 (REF: 2004-438)



SHEET TITLE

DEMOLITION & EROSION CONTROL PLAN

DRAWING NO.

C-3.0

PLAN NO. L-4614

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BEING A MAJORITY DATE:

SUTTON OUTLOOK VENTURES
SITE REDEVELOPMENT PLAN
85 GILMORE DRIVE
SUTTON, MA 01590

SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

PROJECT:

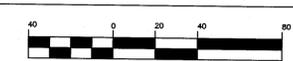
PROPOSER:

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE	.../dwg/2015-214-SITE PLAN.dwg
DRAWN BY	WCN, JPC
CHECKED BY	PBH
DATE	AUGUST 11, 2015
PROJECT NO.	2015-214 (REF: 2004-438)

GRAPHIC SCALE



(IN FEET)
1 inch = 40 feet

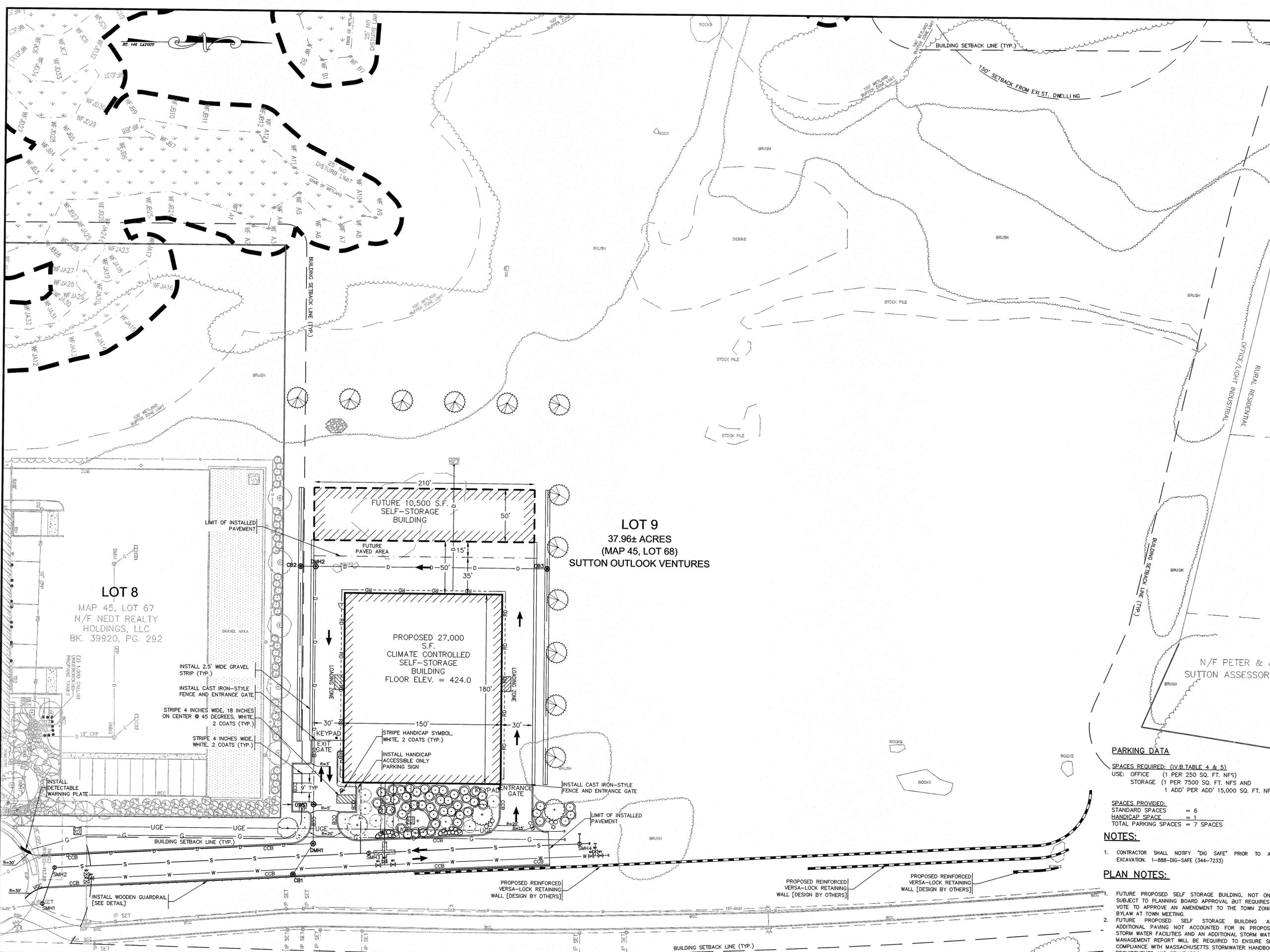
SHEET TITLE

LAYOUT &
MATERIALS PLAN

DRAWING NO.

C-4.0

PLAN NO. L-4614



LOT 9
37.96± ACRES
(MAP 45, LOT 68)
SUTTON OUTLOOK VENTURES

LOT 8
MAP 45, LOT 67
N/F NEDT REALTY
HOLDINGS, LLC
BK. 39920, PG. 292

FUTURE 10,500 S.F.
SELF-STORAGE
BUILDING

PROPOSED 27,000
S.F.
CLIMATE CONTROLLED
SELF-STORAGE
BUILDING
FLOOR ELEV. = 424.0

PARKING DATA

SPACES REQUIRED: (I.V.B. TABLE 4 & 5)
USE: OFFICE (1 PER 250 SQ. FT. NFS)
STORAGE (1 PER 7500 SQ. FT. NFS AND
1 ADD' PER ADD' 15,000 SQ. FT. NFS)

SPACES PROVIDED:
STANDARD SPACES = 6
HANDICAP SPACE = 1
TOTAL PARKING SPACES = 7 SPACES

NOTES:

1. CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY
EXCAVATION. 1-888-DIG-SAFE (344-7233)

PLAN NOTES:

1. FUTURE PROPOSED SELF STORAGE BUILDING, NOT ONLY
SUBJECT TO PLANNING BOARD APPROVAL BUT REQUIRES A
VOTE TO APPROVE AN AMENDMENT TO THE TOWN ZONING
BYLAW AT TOWN MEETING.
2. FUTURE PROPOSED SELF STORAGE BUILDING AND
ADDITIONAL PAVING NOT ACCOUNTED FOR IN PROPOSED
STORM WATER FACILITIES AND AN ADDITIONAL STORM WATER
MANAGEMENT REPORT WILL BE REQUIRED TO ENSURE SITE
COMPLIANCE WITH MASSACHUSETTS STORMWATER HANDBOOK
REQUIREMENTS AND STANDARDS.

1. CONNECT 12" HDPE STORM DRAIN TO EX. DMH
INV. IN = 414.00
2. INSTALL 12" HDPE STORM DRAIN
L=257.16', S=0.0050 FT/FT
3. INSTALL DMH #1, RIM EL. 422.42
INV. IN EL. 416.80 (CATCH BASIN #1)
INV. IN EL. 415.32 (OIL/WATER SEPARATOR #1)
INV. OUT EL. 415.29
4. INSTALL 12" HDPE STORM DRAIN
L=31.22', S=0.0050 FT/FT
5. INSTALL CB #1, RIM EL. 421.42
INV. OUT EL. 417.42
6. INSTALL 12" HDPE STORM DRAIN
L=33.00', S=0.0050 FT/FT
7. INSTALL OWS #1, RIM EL. 423.04
INV. IN EL. 415.50 (DRAIN MANHOLE #2)
INV. OUT EL. 415.48 (DRAIN MANHOLE #1)
8. INSTALL 12" HDPE STORM DRAIN
L=213.89', S=0.0050 FT/FT

9. INSTALL DMH #2, RIM EL. 423.10
INV. IN EL. 417.00 (CATCH BASIN #2)
INV. IN EL. 416.63 (CATCH BASIN #3)
INV. OUT EL. 416.61
10. INSTALL 12" HDPE STORM DRAIN
L=9.87', S=0.0050 FT/FT
11. INSTALL CB #2, RIM EL. 421.88
INV. OUT EL. 417.20
12. INSTALL 12" HDPE STORM DRAIN
L=216.13', S=0.0050 FT/FT
13. INSTALL CB #3, RIM EL. 422.17
INV. OUT EL. 417.72
14. INSTALL 6" HDPE STORM DRAIN
L=120.40', S=0.0070 FT/FT
15. INSTALL FES FOR 6" HDPE STORM DRAIN OUTLET
16. INSTALL 8"x8"x8" TEE, AND THREE (3) 8" GATE VALVES
17. INSTALL 8" WATER MAIN PER WATER DEPARTMENT REQ.
18. INSTALL 8"x8"x8" TEE, AND THREE (3) 8" GATE VALVES
19. INSTALL 8" FIRE SERVICE AND POST VALVE INDICATOR PER WATER DEPARTMENT REQ.

20. INSTALL 1-1/4" DOMESTIC SERVICE W/ WATER SHUT-OFF
CONNECT TO 8" FIRE SERVICE LINE
21. INSTALL 8" WATER MAIN PER WATER DEPARTMENT REQ.
22. INSTALL 8"x8"x8" TEE, AND THREE (3) 8" GATE VALVES
23. INSTALL SMH #1, RIM EL. 426.18
INV. IN EL. 419.52 (SEWER MANHOLE #2)
INV. OUT EL. 422.19 (EXISTING SEWER STUB)
[SEE NOTES #2 & #3]
24. INSTALL 8" SDR-35 PVC SEWER
L=32.35', S=0.0050 FT/FT
25. INSTALL SMH #2, RIM EL. 426.52
INV. IN EL. 419.70 (SEWER MANHOLE #3)
INV. OUT EL. 419.68 (SEWER MANHOLE #1)
26. INSTALL 8" SDR-35 PVC SEWER
L=296.29', S=0.0050 FT/FT
27. INSTALL SMH #2, RIM EL. 426.52
INV. IN EL. 419.70 (SEWER MANHOLE #3)
INV. OUT EL. 419.68 (SEWER MANHOLE #1)
28. INSTALL 6" SDR-35 PVC SEWER LATERAL
L=67.85', S=0.0200 FT/FT
INV. OF MAIN AT CONNECT EL. 421.15

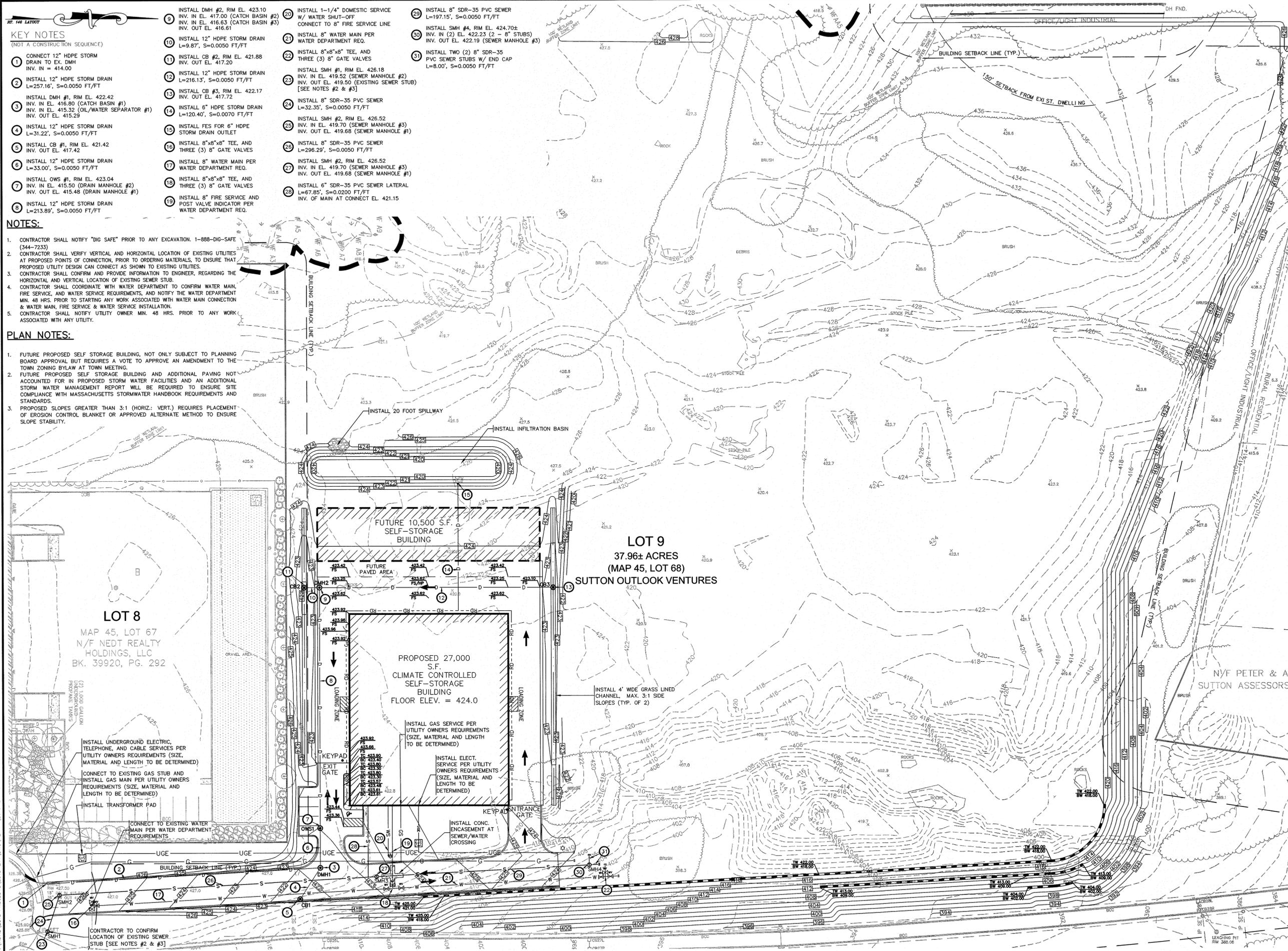
29. INSTALL 8" SDR-35 PVC SEWER
L=197.15', S=0.0050 FT/FT
30. INSTALL SMH #4, RIM EL. 424.70±
INV. IN (2) EL. 422.23 (2 - 8" STUBS)
INV. OUT EL. 422.19 (SEWER MANHOLE #3)
31. INSTALL TWO (2) 8" SDR-35 PVC SEWER STUBS W/ END CAP
L=8.00', S=0.0050 FT/FT

NOTES:

1. CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY EXCAVATION. 1-888-DIG-SAFE (344-7233)
2. CONTRACTOR SHALL VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AT PROPOSED POINTS OF CONNECTION, PRIOR TO ORDERING MATERIALS, TO ENSURE THAT PROPOSED UTILITY DESIGN CAN CONNECT AS SHOWN TO EXISTING UTILITIES.
3. CONTRACTOR SHALL CONFIRM AND PROVIDE INFORMATION TO ENGINEER, REGARDING THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING SEWER STUB.
4. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO CONFIRM WATER MAIN, FIRE SERVICE, AND WATER SERVICE REQUIREMENTS, AND NOTIFY THE WATER DEPARTMENT MIN. 48 HRS. PRIOR TO STARTING ANY WORK ASSOCIATED WITH WATER MAIN CONNECTION & WATER MAIN, FIRE SERVICE & WATER SERVICE INSTALLATION.
5. CONTRACTOR SHALL NOTIFY UTILITY OWNER MIN. 48 HRS. PRIOR TO ANY WORK ASSOCIATED WITH ANY UTILITY.

PLAN NOTES:

1. FUTURE PROPOSED SELF STORAGE BUILDING, NOT ONLY SUBJECT TO PLANNING BOARD APPROVAL BUT REQUIRES A VOTE TO APPROVE AN AMENDMENT TO THE TOWN ZONING BYLAW AT TOWN MEETING.
2. FUTURE PROPOSED SELF STORAGE BUILDING AND ADDITIONAL PAVING NOT ACCOUNTED FOR IN PROPOSED STORM WATER FACILITIES AND AN ADDITIONAL STORM WATER MANAGEMENT REPORT WILL BE REQUIRED TO ENSURE SITE COMPLIANCE WITH MASSACHUSETTS STORMWATER HANDBOOK REQUIREMENTS AND STANDARDS.
3. PROPOSED SLOPES GREATER THAN 3:1 (HORIZ.: VERT.) REQUIRES PLACEMENT OF EROSION CONTROL BLANKET OR APPROVED ALTERNATE METHOD TO ENSURE SLOPE STABILITY.



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SUTTON PLANNING BOARD

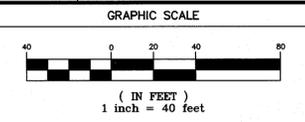
BEING A MAJORITY _____ DATE: _____

**SUTTON OUTLOOK VENTURES
SITE REDEVELOPMENT PLAN
85 GILMORE DRIVE
SUTTON, MA 01590**

**SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821**

REVISIONS	
NO.	DESCRIPTION

CAD FILE	... \dwg\2004-438-SITE PLAN.dwg
DRAWN BY	WCN, JPC
CHECKED BY	PBH
DATE	AUGUST 11, 2015
PROJECT NO.	2015-214 (REF: 2004-438)



**GRADING, DRAINAGE
& UTILITY PLAN**

DRAWING NO.	C-5.0
PLAN NO.	L-4614



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SUTTON PLANNING BOARD

BEING A MAJORITY _____ DATE: _____

SUTTON OUTLOOK VENTURES
SITE REDEVELOPMENT PLAN
85 GILMORE DRIVE
SUTTON, MA 01590

SUTTON OUTLOOK VENTURES
4 RIVERHURST ROAD
BILLERICA, MA 01821

PROJECT:

PROPOSER:

NO.

DATE

REVISIONS

DESCRIPTION

CAD FILE

...\\dwg\2004-438-SITE PLAN.dwg

DRAWN BY

WCN, JPC

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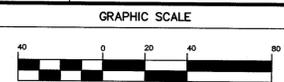
DATE

AUGUST 11, 2015

PROJECT NO.

2015-214 (REF: 2004-438)

GRAPHIC SCALE



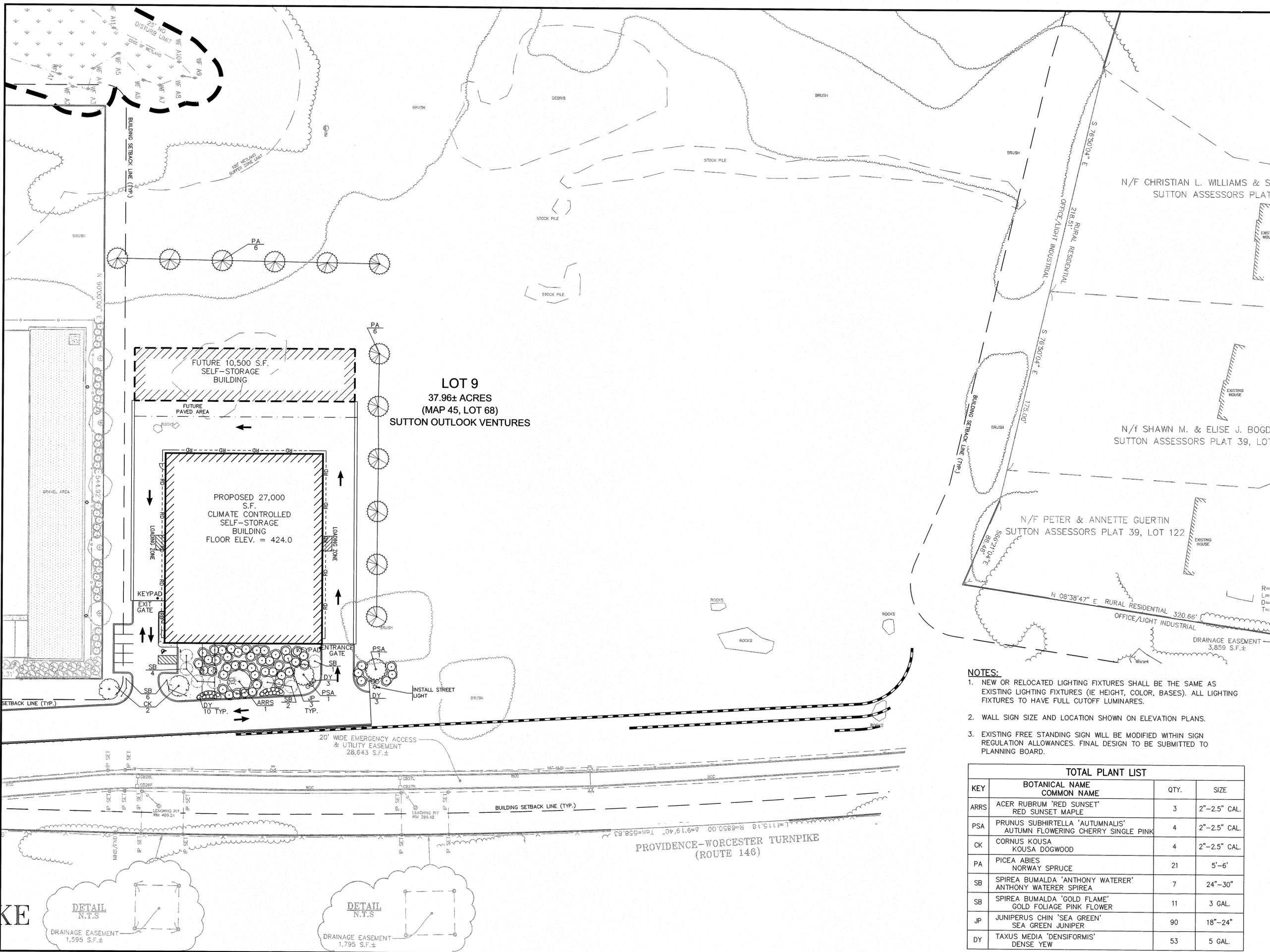
SHEET TITLE

LANDSCAPING &
LIGHTING PLAN

DRAWING NO.

C-6.0

PLAN NO. L-4614

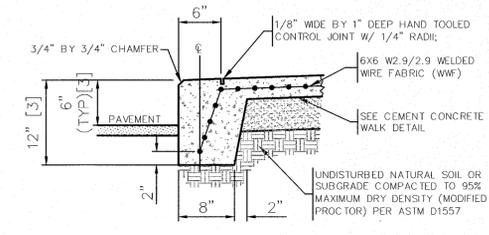


- NOTES:**
- NEW OR RELOCATED LIGHTING FIXTURES SHALL BE THE SAME AS EXISTING LIGHTING FIXTURES (IE HEIGHT, COLOR, BASES). ALL LIGHTING FIXTURES TO HAVE FULL CUTOFF LUMINAIRES.
 - WALL SIGN SIZE AND LOCATION SHOWN ON ELEVATION PLANS.
 - EXISTING FREE STANDING SIGN WILL BE MODIFIED WITHIN SIGN REGULATION ALLOWANCES. FINAL DESIGN TO BE SUBMITTED TO PLANNING BOARD.

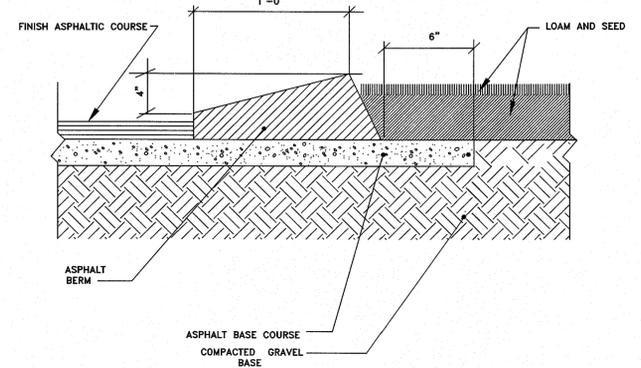
TOTAL PLANT LIST			
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE
ARRS	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	3	2"-2.5" CAL.
PSA	PRUNUS SUBHIRTELLA 'AUTUMNALIS' AUTUMN FLOWERING CHERRY SINGLE PINK	4	2"-2.5" CAL.
CK	CORNUS KOUSA KOUSA DOGWOOD	4	2"-2.5" CAL.
PA	PICEA ABIES NORWAY SPRUCE	21	5'-6'
SB	SPIREA BUMALDA 'ANTHONY WATERER' ANTHONY WATERER SPIREA	7	24"-30"
SB	SPIREA BUMALDA 'GOLD FLAME' GOLD FOLIAGE PINK FLOWER	11	3 GAL.
JP	JUNIPERUS CHIN 'SEA GREEN' SEA GREEN JUNIPER	90	18"-24"
DY	TAXUS MEDIA 'DENSIFORMIS' DENSE YEW	53	5 GAL.

E:\CAD\2015 PROJ\2015-214-SITE PLAN.DWG DB-12-15 1:38:45 PM - LAYOUT C-6.0

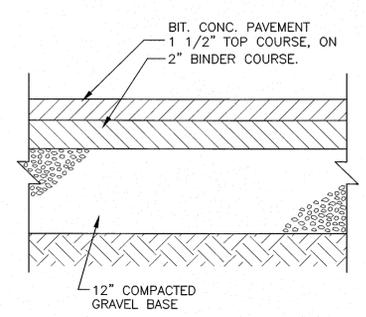
NOTES:
 1. CEMENT CONCRETE: 4000 PSI AT 28 DAYS W/ 3/8" MINUS MAXIMUM PARTICLE SIZE (MHD M4.02.00).
 2. VERTICAL BACKFACE OF CURB SHALL BE FORMED AGAINST NATURAL SOIL, OTHERWISE BY BACKFORM LEFT IN PLACE.
 3. THE AMOUNT OF REVEALED CURB HEIGHT VARIES IN SOME LOCATIONS, INCREASE TOTAL HEIGHT TO MATCH INCREASE IN REVEAL. SEE SHEET C4.1 MODIFIED CURB HEIGHTS AND LOCATIONS. SET TOP OF CURB TO ACCOMMODATE BUILDING FINISH FLOOR ELEVATIONS.



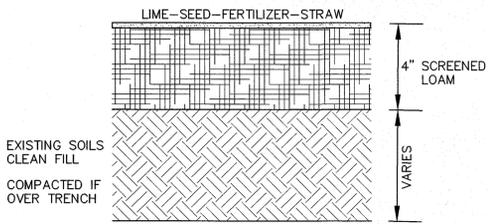
11 MONOLITHIC CEMENT CONCRETE CURB
 SCALE: N.T.S.



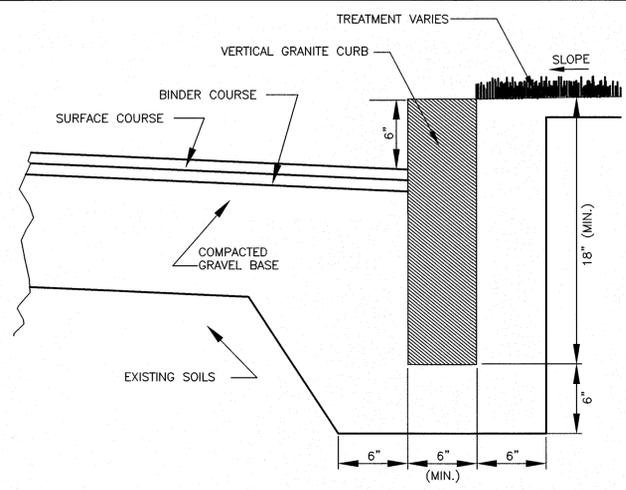
6 MODIFIED CAPE COD BERM
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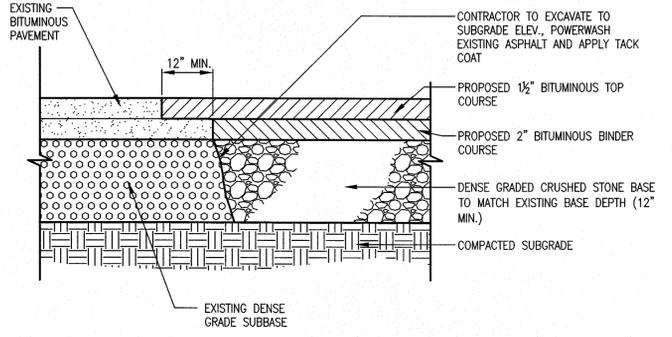
5 BITUMINOUS CONCRETE PAVEMENT DETAIL FOR PARKING AREAS AND DRIVEWAYS
 SCALE: N.T.S.



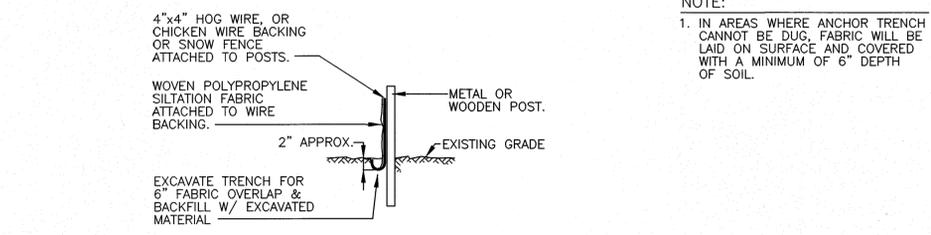
4 LOAM & SEED DETAIL
 SCALE: N.T.S.



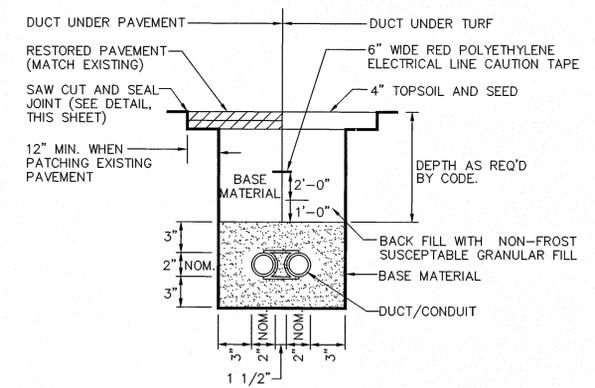
10 VERTICAL GRANITE CURBING
 SCALE: N.T.S.



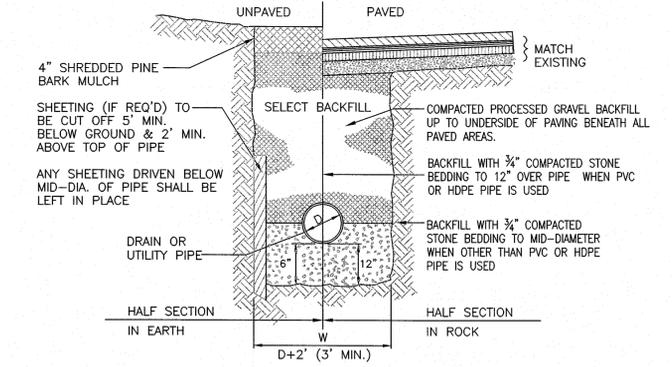
7 PAVEMENT JOINTING DETAIL
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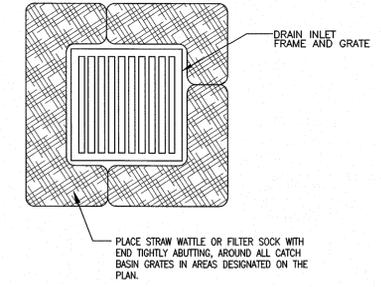
3 EROSION CONTROL BARRIER (ECB): TYPICAL SILTATION FENCE DETAIL
 SCALE: N.T.S.



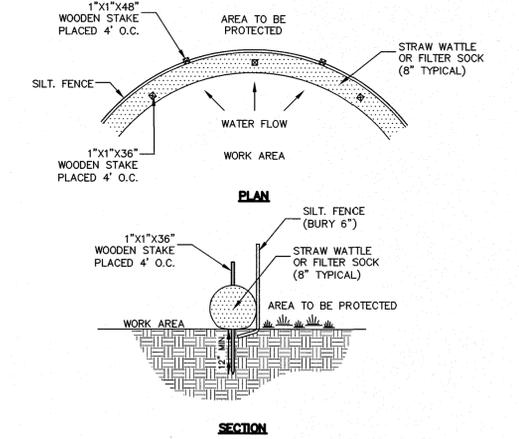
9 UNENCASED DUCT/CONDUIT DETAIL
 SCALE: N.T.S.



8 TYPICAL UTILITY TRENCH DETAIL
 SCALE: N.T.S.



2 CATCH BASIN STRAW WATTLE/FILTER SOCK
 SCALE: N.T.S.



1 EROSION CONTROL BARRIER (ECB)
 SCALE: N.T.S.



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BEING A MAJORITY DATE:

SUTTON OUTLOOK VENTURES
 SITE REDEVELOPMENT PLAN
 85 GILMORE DRIVE
 SUTTON, MA 01590

SUTTON OUTLOOK VENTURES
 4 RIVERHURST ROAD
 BILLERICA, MA 01821

REVISIONS		
NO.	DATE	DESCRIPTION

CAD FILE	...\\dwg\2004-438-SITE PLAN.dwg
DRAWN BY	WGN, JPC
CHECKED BY	PBH
DATE	AUGUST 11, 2015
PROJECT NO.	2015-214 (REF: 2004-438)

GRAPHIC SCALE

SHEET TITLE

CONSTRUCTION DETAILS

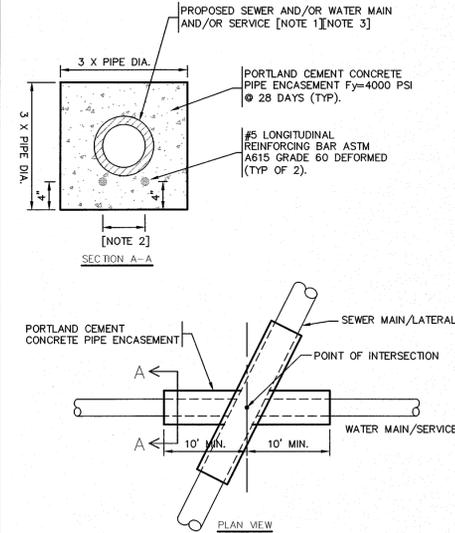
DRAWING NO.

C-7.1

PLAN NO. L-4614

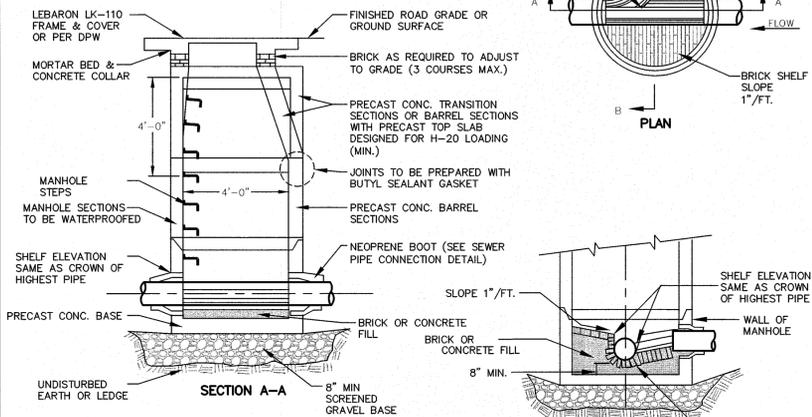
F:\ACAD\2015 PROJECTS\2015-214\DWG\PERMIT\2015-214-SITE PLAN\DWG_08-12-15_1:36:13 PM - LAYOUT C-7.1

- NOTES:**
- [1] CONCRETE PIPE ENCASMENT TO EXTEND 10 FT ALONG SEWER LINE AND WATER LINE FROM POINT OF INTERSECTION.
 - [2] DISTANCE EQUAL TO PIPE DIAMETER.
 - [3] CONCRETE PIPE ENCASMENT REQUIRED WHENEVER PROPOSED SEWER MAIN/LATERAL IS WITHIN 10' OF PROPOSED WATER MAIN/SERVICE.



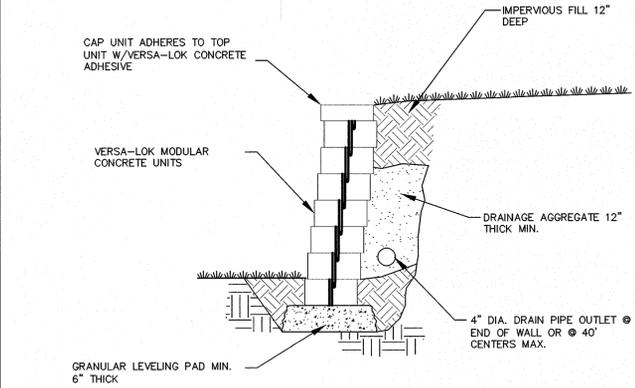
6 PIPE ENCASMENT
SCALE: N.T.S.

- NOTES:**
1. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. (0.15 SQ. IN. FOR 60" DIA) AND BASE BOTTOM.
 2. CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
 3. MANHOLE DESIGN CONFORMS TO LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 4. JOINT SEALANT SHALL BE SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361. 5. BASE SECTION SHALL BE ONE POUR MONOLITHIC.



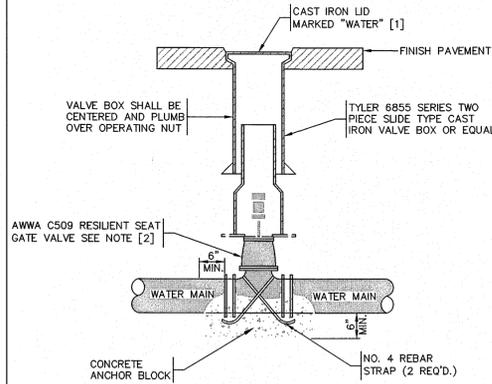
5 TYPICAL PRECAST CONCRETE SEWER MANHOLE
SCALE: N.T.S.

*FINAL DESIGN BY OTHERS

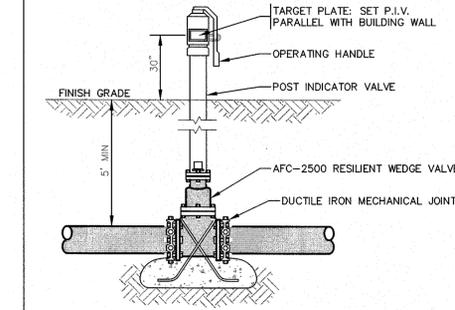


3 TYPICAL SECTION-UNREINFORCED RETAINING WALL
SCALE: N.T.S.

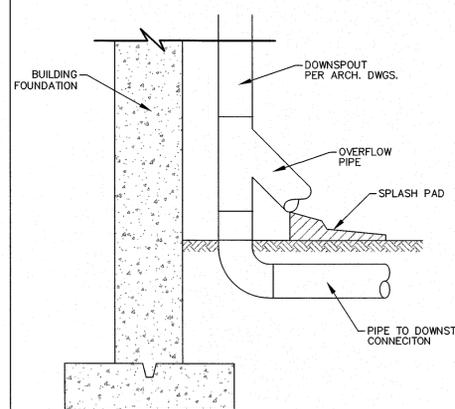
- NOTES:**
- [1] SET LID AND CONCRETE COLLAR 1/4" TO 1/2" BELOW GRADE IN PAVEMENT OR OTHER AREAS TO BE PLOWED. SET LID 3" ABOVE FINISHED GRADE ELSEWHERE.
 - [2] VALVE SHALL OPEN IN DIRECTION AS SPECIFIED BY THE LOCAL WATER DEPARTMENT.



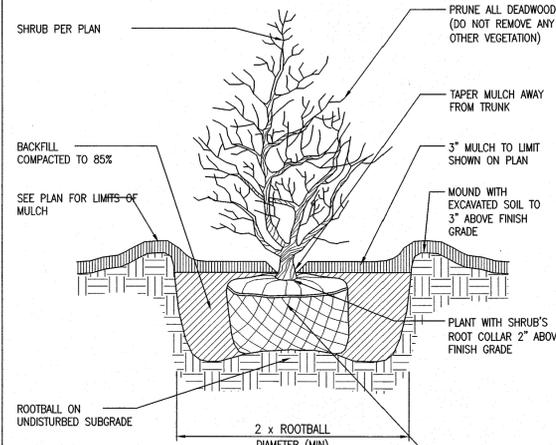
7 GATE VALVE
SCALE: N.T.S.



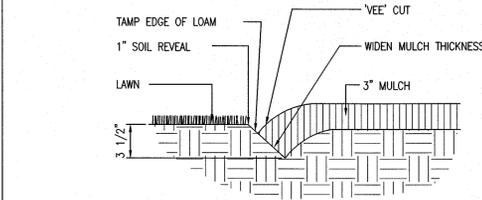
4 POST INDICATOR VALVE
SCALE: N.T.S.



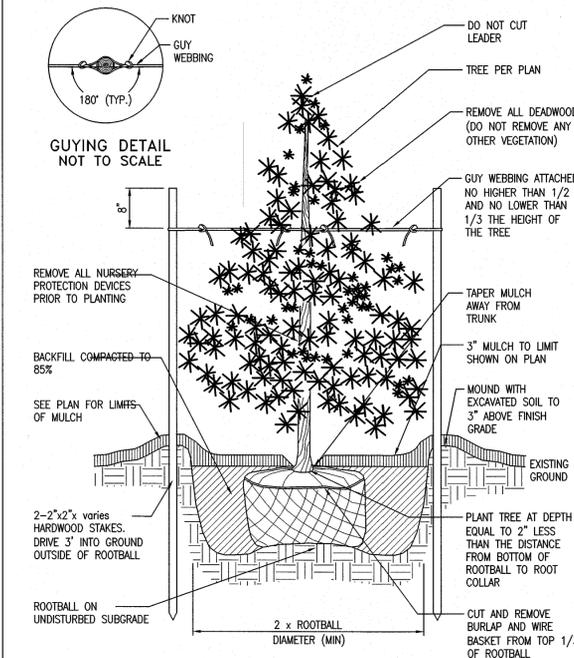
2 ROOF LEADER CONNECTION
SCALE: N.T.S.



SHRUB PLANTING DETAIL
NOT TO SCALE

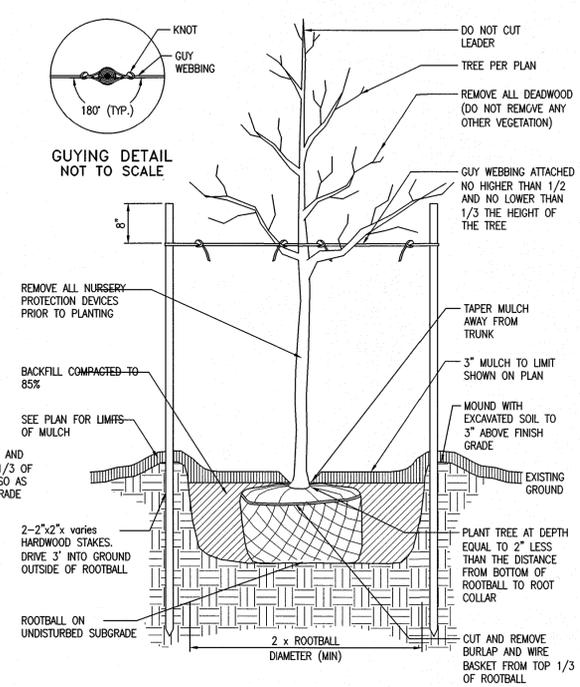


BEDLINE EDGE DETAIL
NOT TO SCALE

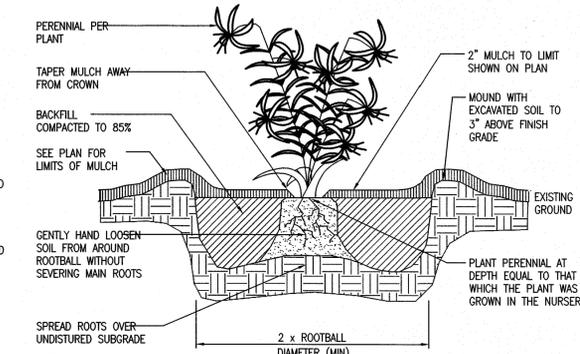


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

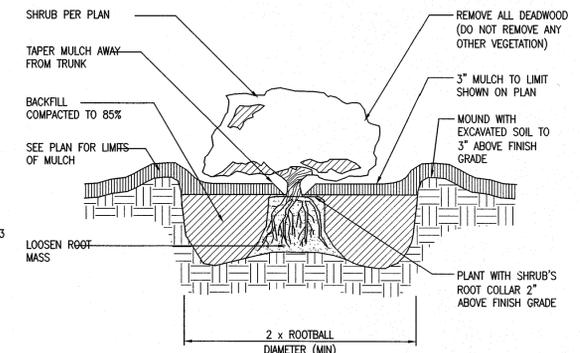
1 PLANTING DETAILS
SCALE: N.T.S.



DECIDUOUS TREE STAKING AND PLANTING DETAIL
NOT TO SCALE



PERENNIAL PLANTING DETAIL
NOT TO SCALE



CONTAINER GROWN TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE

ASE

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BILLERICA, MA 01821

REVISIONS	
NO.	DESCRIPTION

CAD FILE	...\\dvg\2004-438-SITE PLAN.dwg
DRAWN BY	WCN, JPC
CHECKED BY	PBH
DATE	AUGUST 11, 2015
PROJECT NO.	2015-214 (REF: 2004-438)

GRAPHIC SCALE	

SHEET TITLE	

CONSTRUCTION DETAILS	

DRAWING NO.	C-7.3
PLAN NO.	L-4614